

DATE: July 15, 2020

SUBJECT: **Addendum No. 1**
Rockwell Police Department
Rockwell, NC 28138

FROM: Ramsay Burgin Smith Architects, Inc.
225 North Main Street - Suite 501
Salisbury, NC 28144

General: Information contained in this Addendum and changes directed in Drawings and/or Project Manual supersede said Documents and become part of the Contract. Receipt of this addendum must be acknowledged on the bid "Form of Proposal".

The bid date is Tuesday, July 21, 2020 at 3pm. Bids will be received at 3pm at the Town Hall Meeting Room located at 202 East Main Street, NC 28138.

The Meeting Minutes resulting from the Pre-Bid Conference held on July 13, 2020 are attached. Information contained within shall be considered part of this addendum.

All Contractors, General and subcontractors should review all Addenda Items for work that pertains to or affects their trade.

BIDDING REQUIREMENTS:

ITEM #01: Reference "Invitation to Bid", paragraph 8.

This paragraph shall be amended to read as follows:

"No Bid may be withdrawn after time set for receiving bids for a period of SIXTY (60) days."

The additional 15 days will be required for the Owner to present and receive approval from the Local Government Commission (LGC) for the construction loan.

ARCHITECTURAL SPECIFICATION:

ITEM #02: Reference Specification Section 01020 – Allowances - Page 3 Schedule of Allowances:

The **\$8,000 Testing Allowance** will **NOT** be used for testing the gas generator performance. That work and that cost is to be paid as part of the Electrical Contractor's generator installation work.

ITEM #03: Reference Specification Section 04200 - Masonry

The brick specification is being corrected to require **MODULAR** brick in lieu of the Utility Brick specified. Change brick size references under title of "Description of Work" on Page 1 and "Part 2-Products - Brick made from Clay or Shale" on page 4 from Utility brick to MODULAR brick. Modular brick coursing is shown on the Building Section drawings.

The Modular brick closely matching the Fire Department was originally made by Isenhour Brick. The color was "Old Charleston". Brick from other manufacturers that are a very close match will be considered.

ITEM #04: Reference Specification Section 05120 – Structural Steel

The requirement for an AISC certified Steel fabricator will be maintained.

ITEM #05: Reference Specification Section 07180 – Water Repellants

.Planiseal WR Penetrating Water-Based Silane/Siloxane Water repellent by Mapei is an acceptable VOC compliant brick sealing product.

ITEM #06: Reference Specification Section 07410 – Metal Roofing:

In addition to those already listed, **AND subject to compliance with specified requirements**, the following manufacturers be used for this project:

Davco Roofing
MRS, Metal Roofing Systems

ITEM #07: Reference Specification Section 07530 – TPO Single Ply Roofing:

In addition to those already listed, **AND subject to compliance with specified requirements**, TPO Adhered Single Ply Roof systems by the following may be used for this project:

Mule Hide Roofing.

PVC roofs are not being considered for this project.

ITEM #08: Reference Specification Section 08410 – Aluminum Storefront and Entrances:

In addition to those already listed, **AND subject to compliance with specified requirements**, aluminum storefront systems by the following may be used for this project:

Tubelite, Inc.

YKK YES600 Basis of Design aluminum storefront is actually 1-3/4” wide x 4 1/2” and 6”. Equal manufacturers listed to the Basis of Design products with 2” wide front glazed frames will be acceptable.

ITEM #09: Reference Specification Section 08700 – Hardware:

Find the attached complete **REVISED** Hardware Set Specification for the GC’s use. The revision adds a Hardware Set Number 3.1 for Door 27. See below the Hardware set Number 3.1 that was added for Door 27.

Set: 3.1

Doors: 27

Description: Classroom Function + Closer

3 Hinge, Full Mortise	TA2714 NRP	US26D	MK
1 Classroom Lock	ND70 RHO 50-210 50-211	626	SC
1 Surface Closer	1461 REG TBWMS	AL	LC
1 Wall Stop	406	US32D	RO
3 Silencer	608		RO

ITEM #10: Reference Specification Section 09250 – Gypsum Drywall/Armored Panels:

In addition to those manufacturers already indicated, **AND subject to compliance with specified requirements** for Armored Wall Panels described on Page 3’

Chicago Bullet Proof may be used on this project.

ITEM #11: Reference Specification Section 10000 – Miscellaneous: page 2 “Knox Box”

Revise the text as follows:

“Knox Box: Furnish and install one (1) recessed Knox Box located in a brick column by exterior Door 04B. Contact Town of Rockwell Fire Marshall for the type of Knox Box required.

Note the current Police Station has no Knox Box to reuse.

ITEM #12: Reference Specification Section 10500 – Plastic Lockers:

In addition to those manufacturers already listed, **AND subject to compliance with specified requirements,**

Summit Solid Plastic lockers may be used in this project.

Phenolic panels are not equal to the specified locker.

ARCHITECTURAL DRAWINGS:

ITEM #13: Reference Drawing Sheet 1/A4.1 & A4.2: Enlarged Partial Wall Sections

See attached Sht ABD1 Details 1 & 2 w/ extra noting for application of the air barrier and thru wall flashing.

ITEM #14: Reference Drawing Sheet 1/A7.0 Interior Elevations:

On Sheet A7.1 Cabinet Section Drawing Details 5, 6, 7, 8 and 9. Drawings notes indicate Melamine covered plywood construction for cabinetry. Notes shall be corrected to read “Medium Density Fiberboard clad with Plastic Laminate on exposed surfaces and melamine facing on concealed interior surfaces” as specified in Section 12300 – Manufactured Casework.

STRUCTURAL DRAWINGS:

ITEM #15: Reference the attached Bulletin Drawing Sheet SBD1:

An Antenna Support Pipe Post is being added to the roof structure located just above the IT Room 11 for the Owner to set up their communications antenna system. See the required antenna mount and installation drawing along with the necessary roof flashing details.

ELECTRICAL DRAWINGS:

ITEM #16: Reference the Electrical Drawing E0.2:

No. 1 Electrical Riser Clarification.

Panel MP is a service rated panel with two breakers. 1-400amp 3 pole which feeds ATS'M' and 1-60 amp 3 pole which feeds ATS'LS'.

No. 2 Provide a selective coordination study and arc flash study for the electrical distribution system.

CONTRACTOR QUESTIONS:

ITEM #17: Will it be permitted to pour the flat SOG first, then pour depressed and sloping slabs separate?

They may be poured separately if done with a metal keyed joint as shown on 9/S3.0. OR place #4 x 12” rebar @ 24” o. c. centered on all joint perimeters between the 2 slabs, in the center of the slab, Grease half of the rebar going into second slab.

ITEM #18: On the roof framing plan there is an option of either 16KCS14 joist or 16x26 beams. Which do we choose since there is no alternates in the project manual?

This is a GC option to use either steel framing member. The Steel joist probably costs less, but the option was given in case the G.C. prefers to use steel wide flange beams in lieu of the steel joists for whatever reason.

ATTACHMENTS:

Addendum = 4 pages

Attachments:

PreBid Minutes	4 shts
PreBid Attendance Sheet	1 sht.
REVISED FORM OF PROPOSAL	3 shts
REVISED Hardware Schedule pages 19-26	8 shts
Bulletin Drawing ABD1	1 sht.
Bulletin Drawing SBD1.1	1 sht.

Total Number of Sheets = 22 pages

END OF ADDENDUM No. 1

PRE-BID CONFERENCE
Town of Rockwell
Rockwell Police Department
Rockwell, NC, North Carolina
13 July 2020

Attending:

Hugh Bost
Dan Norman
Perry Carlton

Rockwell Police Chief
Ramsay Burgin Smith, Architects
Ramsay Burgin Smith Architects (RBSA)

Wesley Carlton
Emily Clodfelter/Derek Kramer
Trip McCrimmon
David Isenhour
Leland Bourque
Kyle Davis
Kevin Conrad
Josh Triplett
Richard Egan
David Hartman
Chris Hoover

Edison Foard Construction
Fairwood Construction
GW Liles Construction
Ikes Construction
Jencon Builders
KMD
Matthews Construction
Salcoa Contracting Inc.
Southeastern Companies
Vertex Construction
W.C. Construction

Tamera Casuso
Ken Daniels
Chase Tobin

EMR Services
NEO Corporation
Konter Industries

A non-mandatory Pre-Bid Conference was held on Monday, July 13th to acquaint bidding contractors with the project and to allow an opportunity for contractors to ask questions. A brief overview of the project was given and the following general clarifications were made:

Architect Dan Norman introduced the design staff and the Town of Rockwell officials.

This is a Single Prime project is for the construction of a new 6500 sq. ft. Police Department with the General Contractor bidding as the primary responsible party.

RBSA reminds all those present to **Verify that They Have All Sheets Scheduled in the Set of Drawings and in the Specifications**. It is the responsibility of the Contractor to cross reference and count drawing sheets/specifications to verify receipt of a complete set of bid documents.

Bids will be received on Tuesday July 21st at the Town Hall Meeting Room at 3PM.

Please be aware that a **REVISED Form of Proposal** is being reissued to give a line item spot for the 2nd Unit Price quote and will be included in Addendum #1 that will be issued shortly along with the Meeting Minutes of this Prebid conference.

Regarding the Form of Proposal, the **list of subcontractors on the BID FORM** must be filled out completely and cannot be revised after the Bid Date.

Please note that a 5% **Bid Bond, Performance and Payment Bonds** and 10% Minority Participation documentation are required for this project.

As amended by the Addendum #1, Invitation to Bid: No bid may be withdrawn after a time set for receiving bids **for a period of 60 DAYS**. This time consideration was previously stated as 45 days. Contractors shall be prepared to hold their bids for 60 days while the Owner presents and receives approval from the Local Government Commission (LGC) for their project financing.

Construction Duration - is specified as **12 Months (365 days after a Notice to Proceed is issued)**. **These 12 months includes the time required for the GC to tear down the existing Police Department Building after the new building is occupied AND to complete the parking lot installation and new front yard area grading.** The Town of Rockwell will be responsible for removing the minor amounts of existing asbestos within the building “finishes” prior to the building demolition. An asbestos survey by Abatemaster is available in the back of the spec book.

Liquidated Damages will be enforced at **\$250** per day after 365 days are utilized.

Agencies reviewing this project includes Rowan County Inspections Dept, Town of Rockwell & NCDOT. RBSA has already had the plans reviewed and are approved.

Contractors are responsible for coordination, filing and payment of all permits fees, sales tax and Electrical or gas fees with the local provider. Any Tap Fees for Domestic Water or Sewer will be paid by the Town to Rowan Salisbury Utilities and should not be included in Base Bid costs.

Alternates: There are **No Alternates** to be quoted for this project

Allowances: The following allowances shall be included in the GC’s bid proposal:

\$30,000 General Contingency for “Unforeseens.”

\$\$\$ as calculated for 640 Cu. yds. of Undercut and Fill per the GC’s Unit Cost.

\$8,000 Testing Allowance.

Product substitutions should be pre-approved (in writing) as equal by the Architect prior to bid if possible. While substitutions will not automatically be rejected after bid, products are subject to rejection by Architect for any failure to meet specifications.

Project Specifics:

Regarding the Site – The Contractor shall stage the construction to be services from the back of the building leaving the front area and side parking area for the Police Department to continuously run their Law Enforcement Department 24/7. The Fire Department parking and truck bay area shall be off limits to the General Contractor.

GC shall be responsible for Coordination of Power Supply/Service with Duke Energy.

GC shall be responsible for Coordination of Natural Gas Line/Service with Piedmont Natural Gas.

GC shall be responsible for Coordination of Water/Sewer /Service with Rowan/ Salisbury Utilities.

GC and Electrical Contractor shall be responsible for Coordination with Chief Bost for the Owner-installed VOIP Data cabling and security system...conduit by EC.

Building Notes:

Exterior Description:

Approximately 6,500 sf building of modular brick veneer with precast water table and drainable EIFS system with storefront system and windows (match existing fire station brick) is steel framed with insulated 6” lightgauge metal stud infill wall framing. The roof structure is metal bar joist/metal deck

roof with an insulated ¼” per foot slope with an adhered 60 mil TPO single ply roof membrane over coverboard and insulation. There is a roof hatch access with roof walk pad protection mats to service equipment. Exterior finishes include a modular brick installed below an EFIS sculptured top cornice. The elevated building corner feature has 2” rib height metal standing seam roofing which highlights the front entrance. Integrated sun shading devices are installed over all of the aluminum storefront window framing with insulated glazing. Awning covers over the exterior doors and rear sallipport overhead garage doors comprise the exterior openings. HM frame and insulated exterior metal doors. Rockwool cavity insulation with ExoAir barrier system is installed over exterior fiberglass faced sheathing. The perimeter parapet wall roof edge protected with aluminum coping.

Exterior Work includes, concrete sidewalks, asphalt paved parking lots with concrete curb and guttering, building signage, include flag pole, concrete traffic barrier bollards, landscaping and grass seeding, removal of existing parking lot paving and base, removal of the existing Police Department building and shed including their foundations after the new building is occupied. The Owner will remove the minor amounts of asbestos previously identified prior to the building demolition.

Interior Description:

The interior rooms include a reception lobby, offices, police training room, fitness training room, storage for equipment, supplies, and evidence, kitchen, toilets, shower, sallipport garage. Partitions are drywall clad gypsum board with HM door frames and wood doors. Interior finishes include acoustical ceiling tile and vinyl coated ceiling tiles and grid, flooring of VCT, carpet, wood & rubber base, and ceramic tile. Some walls have bullet resistant linings. Accessories include bullet resistant teller window, personnel lockers, evidence lockers, toilet/shower accessories, kitchen cabinets, and security features, and motorized window blinds. The walls separating the Sallipport garage from the rest of the building are 2 hour rated wall and garage wall penetrations shall be rated.

Plumbing Work Description:

Sallipport shall have floor drains piped thru oil/sand separator with slick stick oil level monitoring system All other plumbing is typical per code requirements.

Mechanical Work Description:

The mechanical will be (2) gas fired roof top package units with required outside air intake. Two (2) ductless mini-split units serve the evidence/property room and IT room. The Evid/Prop room unit will be cooling and heat, the IT room will be cooling only. Exhaust and make-up air provided in Evid/Prop room controlled by wall mounted timer switch with manual override. The exhaust hood with duct thru roof in evidence room is controlled by wall switch. Exhaust and make-up air are provided in storage room, controlled by wall mounted thermostat. Wall mounted electric unit heater are utilized in storage room. The Sallipport will have exhaust and make-up air controlled by wall mount thermostat and carbon monoxide detector, heated with gas radiant tube heater. Restrooms will have exhaust fans per code which are vented thru roof.

Electrical Work Description:

208Y/120 volt 3 phase 400 amp electrical service with an 80 kw natural gas generator. Project includes site lighting, data/telephone service entrance with service vaults, stub-ups for data/phones, and cameras. Power distribution system to receptacles, LED lights with occupancy sensor controls and fire alarm system.

Bidding:

As the Bid Date closes in, any conflicts on Drawings that are not covered by addendum will be addressed by reading the drawings as they stand and assuming the **most expensive interpretation**. The specification lists the order of precedence – see Supplementary General Conditions, Article 1. Any questions clarified in an Addendum will aid everyone bidding.

The minutes of this meeting will be included in the Addendum No.1.

The **Bid Date** remains as scheduled:

3:00 pm on Tuesday, July 21st

The location of the Bid Opening is at the Town Hall, 202 E. Main Street in Rockwell, NC Town Hall Meeting Room.

Bids will be received and subsequently publicly opened. Contractors are advised to be on time – Bids will be closed promptly at 3:01 pm.

Contractors planning to bid this project that are not already listed on the website’s Bidder’s List need to contact Ramsay Burgin Smith Architects with the contact person, Company address, phone numbers, email address as desired.

Contractor Questions/comments:

- How much time is set for owner to transition into the new building and is it included with the Construction Duration time?
RBSA stated in meeting two weeks or 15 days is what we had in mind, and owners representative Hugh Bost stated it could take up to 30 days. If owner takes up to the 30 days no additional Liquidated Damages as a result to the Construction Duration will be applied.
- Can the Allowance testing monies be used for the Generator Load Testing?
No, the Generator Load Testing shall be included as part of the Generator installation.
- When can we expect the project to get started?
We are expecting to issue a Notice to Proceed on or before September 19th (60 days from Bid Date).
- Who covers the tap fees?
Hugh Bost stated that the fees for Town of Rockwell zoning and Tap fees for Water & Sewer are to be waved for this project. The Rowan County Building Standards Permitting fees shall be included in your Base Bid.

END OF PRE-BID MINUTES. (These Minutes will be incorporated as part of Addendum No.1)

Attachment: Prebid Meeting Sign-up sheet – 1 page.

REVISED FORM OF PROPOSAL
ROCKWELL POLICE DEPARTMENT
Rockwell, NC

Contractor Name: _____

Submitted herewith is my/our proposal for the **Rockwell Police Department Construction Project.**

SECTION 1. PRELIMINARY:

The undersigned, as bidder, hereby declares that the only person(s) interested in this proposal as principal(s) is/are named herein; that no other person than herein mentioned has any interest in this proposal or in the contract to be entered into; that this proposal is made without connection with any other person, company or parties making a bid or proposal; and that it is in all respects fair and in good faith without collusion or fraud.

The undersigned bidder further declares that he has examined the site of the work and informed himself fully in regard to all conditions pertaining to the place where the work is to be done; that he has examined the specifications for the work and the contract documents relative thereto, and has read all special provisions furnished prior to the opening of bids; and that he has satisfied himself relative to the work to be performed.

If this proposal is accepted, the undersigned bidder proposes and agrees to contract with **the Town of Rockwell** in the form of contract specified, to furnish all necessary materials, equipment, machinery, tools, apparatus, means of transportation and labor necessary to complete the construction in full and complete accord with the plans, specifications and contract documents and to the full and complete satisfaction of the Architect and Owner with a definite understanding that no money will be allowed for extra work except as set forth in the General Conditions and contract documents for the sum of:

Single Prime Contract:

BASE BID: _____ **DOLLARS (\$ _____)**
(including allowances specified in Section 01020)

LIST THE FOLLOWING MAJOR SUBCONTRACTORS PART OF BID:

- Plumbing: _____
- HVAC: _____
- Electrical: _____
- Grading: _____
- Masonry: _____
- Steel: _____
- EIFS: _____
- Drywall: _____
- Painting: _____
- Roofing: _____
- Overhead doors: _____
- Storefront: _____

SECTION 2. ALTERNATES:

Each alternate price listing in this proposal shall cover all costs required for this particular part of the work, complete and in place, including all changes, alterations or modifications to surrounding work required to accommodate the substitution, addition, deletion or other change.

The Architect reserves the right to recommend to the Owner the acceptance or rejection of any or all alternates. The Owner reserves the right to accept or reject any or all such recommendations. The Owner further reserves the right to accept or reject alternates in any order they preferred without regard to whether or not their selected order effects bid outcome.

Should any of the alternates as described in the specifications be accepted, the amount written below shall be the amount to "add to" or "deduct from" the Base Bid. Signify the option intended by the words "add" or "deduct" in front of the written figures and the like "plus" or "minus" signs in front of the numerals.

NO ALTERNATES REQUESTED

SECTION 3. UNIT PRICES:

Unit prices are for complete work and no profit or overhead shall be added or deducted when applying unit prices. No work described on the drawings or specifications is to be bid as a unit price. Unit price costs will be used only for additional work the owner may want to include in the work by change order.

UNIT PRICE #1: Undercut including compacted Refill, per cubic yard: **FROM "OFF SITE BORROW"**

This unit price must also include cost of legally disposing of undercut soil off-site and hauling structural quality soil to the site. Testing costs to determine if fill soil is structural quality shall be part of unit cost or otherwise part of general contractor's base bid.

_____ DOLLARS(\$ _____ /Cu.yd.)

NOTE: Unit Price costs indicated above will be used to determine the exact Allowance dollar amount figure used by the contractor in their Base Bid. See Division 1 – Allowances Section 01020 for quantities required to be included in Base Bid.

Testing services for monitoring rock removal, undercut and compacted refill work on site shall be paid for by the Owner's Testing Allowance .

UNIT PRICE #2: Undercut including compacted ABC Stone Refill

This unit price must also include cost of legally disposing of undercut soil off-site and hauling ABC stone to the site.

_____ DOLLARS(\$ _____ /Cu.yd.)

NOTE: Testing services for monitoring soft soil removal, undercut and compacted refill work on site shall be paid for by the Owner's Testing Allowance .

SECTION 4. COMPLETION OF WORK:

If the undersigned bidder is notified of the acceptance of this proposal, he agrees to execute a contract for the above stated compensation in the form of the Standard Agreement of the American Institute of Architects and to commence work within ten (10) days after signing of the contract. The undersigned bidder proposes to complete the construction and have the work ready for Final Inspection on or before the schedule listed below from date of "commencement of work".

Construction Duration - 12 Months (Including existing building demolition occurring after new building occupancy.)

The undersigned further agrees that in the case of failure on his part to execute the said contract and required bonding within ten (10) consecutive calendar days after written notice of award of the contract has been given, the check, cash, or bid bond accompanying this bid shall be paid into the funds of the Owner for this project as liquidated damages for such failure.

SECTION 5. ADDENDA/BULLETINS:

The undersigned bidder acknowledges receipt of the following Addenda and/or Bulletins:

Addendum No. _____ Dated _____
Addendum No. _____ Dated _____
Addendum No. _____ Dated _____
Addendum No. _____ Dated _____

WITNESS

SIGNATURE AND TITLE

FIRM NAME

ADDRESS

ADDRESS

LICENSE NUMBER

DATE

(seal)

Hardware Sets

Set: 1.0

Doors: 01

Description: Exterior Aluminum Electronic Access Control

1 Continuous Hinge	CFM83HD1		PE
1 Nightlatch	CD 98NL 990NL(Std) SNB	US32D	VD
1 Rim Cylinder	20-710 50-210 50-211	626	SC
1 Mortise Cylinder	20-001 50-210 50-211	626	SC
1 Electric Strike	9600-LBM	630	HS ↗
1 SMART Pac Bridge Rectifier	2005M3		HS ↗
1 Door Closer + Spring Stop	4040XP SRI SCUSH TBWMS	AL	LC
1 Threshold	171AK x Opening Width		PE
1 Sweep	315CN x Door Width		PE
1 Wall Multi-Class Card Reader	SE RP40 By Access Control Subcontractor	BLK	HD ↗
1 Position Switch	DPS-M-GY		SU ↗
1 Power Supply	AQ Series as Required		SU ↗

Notes: Perimeter gasket by frame manufacturer.

5" Stiles required at aluminum door.

Door contact switch indicates propped door condition.

Access control panel and security management software by others.

Prep strike jamb for electrical component.

OPERATION: Door control panel timer locks & unlocks electric strike as programmed. Remote pushbutton temporarily unlocks electric strike: Automatic relock.

Electric strike is fail-secure with latch bolt monitor switch. Mechanical device outside lever is always fixed. Outside key retracts latchbolt. Inside push bar is always free.

Set: 2.0

Doors: 04B, 18, 30B

Description: Exterior Card Access + Closer

3 Hinge (heavy weight)	T4A3386 NRP	US32D	MK
1 Storeroom Lock	ND80 RHO 50-210 50-211	626	SC
1 Electric Strike	1006-LBM	630	HS ↗

1 SMART Pac Bridge Rectifier	2005M3		HS	✗
1 Door Closer + Spring Stop	4040XP SRI SCUSH	AL	LC	
1 Kick Plate	K1050 10" high	US32D	RO	
1 Threshold	171AK x Opening Width		PE	
1 Gasketing	2891AS x Head & Jambs		PE	
1 Sweep	315CN x Door Width		PE	
1 Wall MultiClass Card Reader	SE RP40 By Access Control Subcontractor	BLK	HD	✗
1 Position Switch	DPS-M-GY		SU	✗
1 Power Supply	AQ Series as Required		SU	✗

Notes: Door contact switch indicates propped door condition.

Access control panel and security management software by others.

Prep strike jamb for electrical component.

OPERATION: Outside card reader temporarily unlocks electric strike: automatic relock. Electric strike is fail-secure. Mechanical lock outside lever is always fixed. Outside key retracts latchbolt. Inside lever is always free.

Set: 3.0

Doors: 03B

Description: Classroom Function

3 Hinge, Full Mortise	TA2714 NRP	US26D	MK
1 Classroom Lock	ND70 RHO 50-210 50-211	626	SC
1 Wall Stop	406	US32D	RO
3 Silencer	608		RO

Set: 3.1

Doors: 27

Description: Classroom Function + Closer

3 Hinge, Full Mortise	TA2714 NRP	US26D	MK
1 Classroom Lock	ND70 RHO 50-210 50-211	626	SC
1 Surface Closer	1461 REG TBWMS	AL	LC
1 Wall Stop	406	US32D	RO
3 Silencer	608		RO

Set: 4.0

Doors: 07

Description: Classroom Function + O H Stop

3 Hinge, Full Mortise	TA2714 NRP	US26D	MK
1 Classroom Lock	ND70 RHO 50-210 50-211	626	SC
1 Surface Overhead Stop	9-X36	652	RF
3 Silencer	608		RO

Set: 5.0

Doors: 05, 06, 08, 09, 11, 14, 25, 26

Description: Card Access + Closer

3 Hinge, Full Mortise	TA2714 NRP	US26D	MK
1 Storeroom Lock	ND80 RHO 50-210 50-211	626	SC
1 Electric Strike	1006-LBM	630	HS ↗
1 SMART Pac Bridge Rectifier	2005M3		HS ↗
1 Surface Closer	1461 REG TBWMS	AL	LC
1 Kick Plate	K1050 10" high	US32D	RO
1 Wall Stop	406	US32D	RO
3 Silencer	608		RO
1 Wall MultiClass Card Reader	SE RP40 By Access Control Subcontractor	BLK	HD ↗
1 Position Switch	DPS-M-GY		SU ↗
1 Power Supply	AQ Series as Required		SU ↗

Notes: Door contact switch indicates propped door condition.

Access control panel and security management software by others.

Prep strike jamb for electrical component.

OPERATION: Outside card reader temporarily unlocks electric strike: automatic relock. Electric strike is fail-secure. Mechanical lock outside lever is always fixed. Outside key retracts latchbolt. Inside lever is always free.

Set: 6.0

Doors: 30E

Description: Card Access + Closer

3 Hinge (heavy weight)	T4A3786 NRP	US26D	MK
1 Storeroom Lock	ND80 RHO 50-210 50-211	626	SC
1 Electric Strike	1006-LBM	630	HS ↗
1 SMART Pac Bridge Rectifier	2005M3		HS ↗
1 Surface Closer	1461 REG TBWMS	AL	LC
1 Kick Plate	K1050 10" high	US32D	RO

1 Wall Stop	406	US32D	RO
3 Silencer	608		RO
1 Wall MultiClass Card Reader	SE RP40 By Access Control Subcontractor	BLK	HD ✗
1 Position Switch	DPS-M-GY		SU ✗
1 Power Supply	AQ Series as Required		SU ✗

Notes: Door contact switch indicates propped door condition.
Access control panel and security management software by others.
Prep strike jamb for electrical component.
OPERATION: Outside card reader temporarily unlocks electric strike: automatic relock. Electric strike is fail-secure. Mechanical lock outside lever is always fixed. Outside key retracts latchbolt. Inside lever is always free.

Set: 7.0

Doors: 04A

Description: Card Access + Closer

3 Hinge (heavy weight)	T4A3786 NRP	US26D	MK
1 Storeroom Lock	ND80 RHO 50-210 50-211	626	SC
1 Electric Strike	1006-LBM	630	HS ✗
1 SMART Pac Bridge Rectifier	2005M3		HS ✗
1 Surface Closer	1461 EDaw/62G TBWMS	AL	LC
1 Kick Plate	K1050 10" high	US32D	RO
1 Wall Stop	406	US32D	RO
3 Silencer	608		RO
1 Wall MultiClass Card Reader	SE RP40 By Access Control Subcontractor	BLK	HD ✗
1 Position Switch	DPS-M-GY		SU ✗
1 Power Supply	AQ Series as Required		SU ✗

Notes: Door contact switch indicates propped door condition.
Access control panel and security management software by others.
Prep strike jamb for electrical component.
OPERATION: Outside card reader temporarily unlocks electric strike: automatic relock. Electric strike is fail-secure. Mechanical lock outside lever is always fixed. Outside key retracts latchbolt. Inside lever is always free.

Set: 8.0

Doors: 10, 16A, 16B, 28

Description: Passage Function

3 Hinge, Full Mortise	TA2714 NRP	US26D	MK
1 Passage Latch	ND10S RHO	626	SC
1 Wall Stop	406	US32D	RO
3 Silencer	608		RO

Set: 9.0

Doors: 24

Description: Passage Function + O H Stop

3 Hinge, Full Mortise	TA2714 NRP	US26D	MK
1 Passage Latch	ND10S RHO	626	SC
1 Surface Overhead Stop	9-X36	652	RF
3 Silencer	608		RO

Set: 10.0

Doors: 17A, 17B

Description: Passage Function + Closer

3 Hinge (heavy weight)	T4A3786 NRP	US26D	MK
1 Passage Latch	ND10S RHO	626	SC
1 Surface Closer	1461 REG TBWMS	AL	LC
1 Kick Plate	K1050 10" high	US32D	RO
1 Wall Stop	406	US32D	RO
3 Silencer	608		RO

Set: 11.0

Doors: 12, 13, 19

Description: Office / Entry Function

3 Hinge, Full Mortise	TA2714 NRP	US26D	MK
1 Entrance/Office Lock	ND50 RHO 50-210 50-211	626	SC
1 Wall Stop	406	US32D	RO
3 Silencer	608		RO
1 Coat Hook	796	US26D	RO

Set: 12.0

Doors: 22A, 22B

Description: Privacy Function

3 Hinge, Full Mortise	TA2314 NRP	US32D	MK
1 Privacy Lock	L9040 06A L283-712 L283-722	630	SC
1 Mop Plate	K1050 6" high	US32D	RO
1 Wall Stop	406	US32D	RO
3 Silencer	608		RO
1 Coat Hook	796	US26D	RO

Notes: Furnish indicators inside (thumbturn) and outside (cointurn).

Set: 13.0

Doors: 02

Description: Privacy Function + Closer

3 Hinge, Full Mortise	TA2314 NRP	US32D	MK
1 Privacy Lock	L9040 06A L283-712 L283-722	630	SC
1 Surface Closer	1461 EDaw/62G TBWMS	AL	LC
1 Kick Plate	K1050 10" high	US32D	RO
1 Wall Stop	406	US32D	RO
3 Silencer	608		RO
1 Coat Hook	796	US26D	RO

Notes: Furnish occupancy indicators inside (thumbturn) and outside (cointurn).

Set: 14.0

Doors: 21, 23

Description: Push-Pull + Closer

3 Hinge, Full Mortise	TA2714 NRP	US26D	MK
1 Push Plate	70F	US32D	RO
1 Pull Plate	BF 111x70C	US32D	RO
1 Surface Closer	1461 REG TBWMS	AL	LC
1 Mop Plate	K1050 6" high	US32D	RO
1 Kick Plate	K1050 10" high	US32D	RO
1 Wall Stop	406	US32D	RO
3 Silencer	608		RO

Set: 15.0

Doors: 20A

Description: Storeroom Function

3 Hinge, Full Mortise	TA2714 NRP	US26D	MK
1 Storeroom Lock	ND80 RHO 50-210 50-211	626	SC
1 Wall Stop	406	US32D	RO
3 Silencer	608		RO

Set: 16.0

Doors: 30D

Description: Storeroom Function + Closer

3 Hinge, Full Mortise	TA2714 NRP	US26D	MK
1 Storeroom Lock	ND80 RHO 50-210 50-211	626	SC
1 Surface Closer	1461 REG TBWMS	AL	LC
1 Kick Plate	K1050 10" high	US32D	RO
1 Wall Stop	406	US32D	RO
3 Silencer	608		RO

Set: 17.0

Doors: 03A

Description: Storeroom Function + Closer

3 Hinge, Full Mortise	TA2714 NRP	US26D	MK
1 Storeroom Lock	ND80 RHO 50-210 50-211	626	SC
1 Surface Closer	1461 CUSH TBWMS	AL	LC
3 Silencer	608		RO

Set: 18.0

Doors: 30F

Description: Storeroom Function Pair

6 Hinge, Full Mortise	TA2714 NRP	US26D	MK
2 Flush Bolt	555	US26D	RO
1 Dust Proof Strike	570	US26D	RO
1 Storeroom Lock	ND80 RHO 50-210 50-211	626	SC
2 Wall Stop	406	US32D	RO
2 Silencer	608		RO

Notes: Overlapping astragal by door manufacturer.

Set: 19.0

Doors: 30G

Description: Access Door

1 No 087100 Hardware	Hardware by Door Manufacturer		OT
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Set: 20.0

Doors: 16C

Description: Folding Counter Shutter

1 Mortise Cylinder	20-001 50-210 50-211	626	SC
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Notes: Coordinate cylinder requirements with door supplier.
Balance of hardware by door manufacturer.

Set: 21.0

Doors: 30A, 30C

Description: Overhead Door

1 Mortise Cylinder	20-001 50-210 50-211	626	SC
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Notes: Coordinate cylinder requirements with door supplier.
Balance of hardware by door manufacturer.

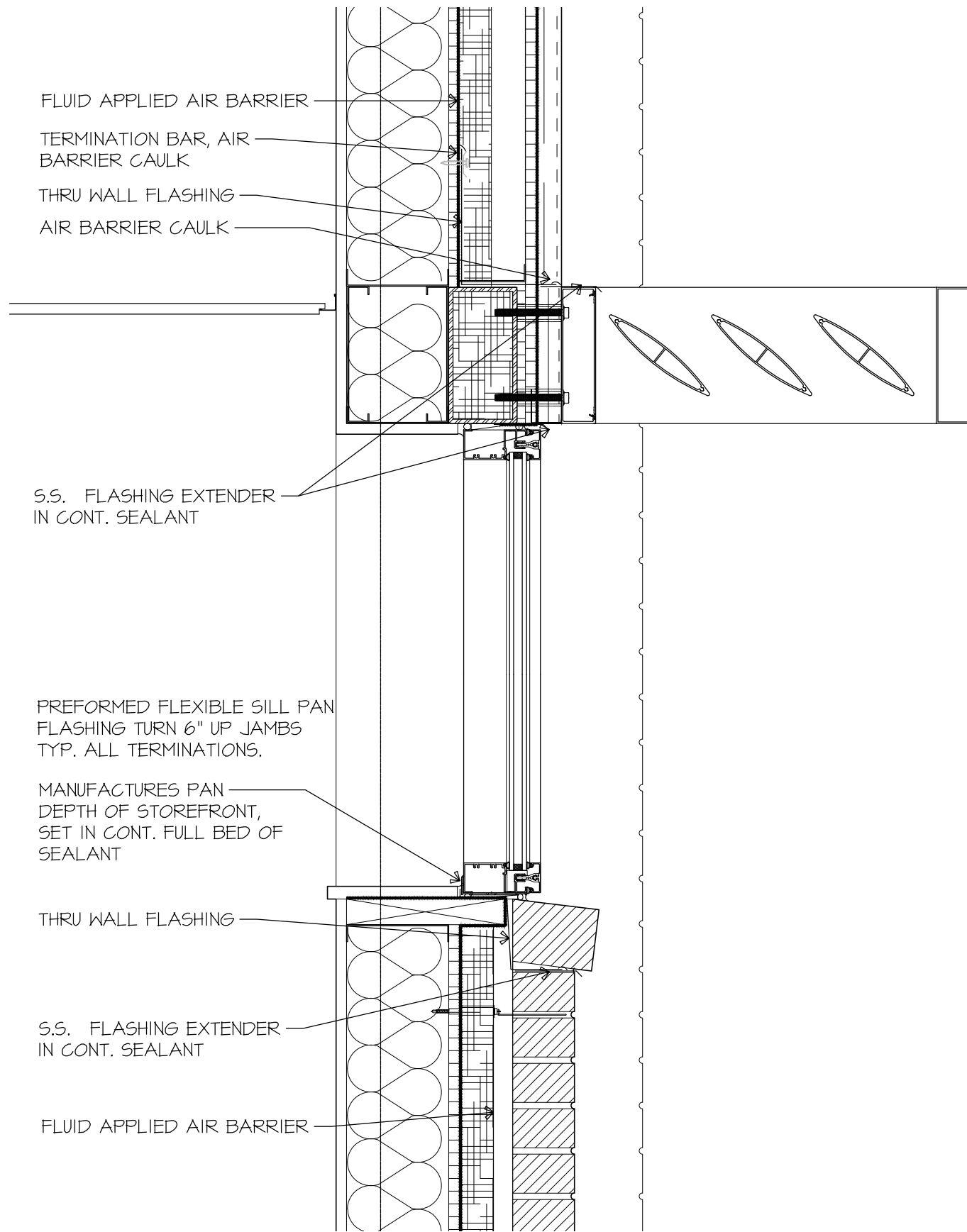
END OF SECTION 087100

Architectural
**BULLETIN
DRAWING**
WALL SECTION



**ROCKWELL
POLICE
DEPARTMENT**
303 WEST MAIN STREET
ROCKWELL, NC 28138

DRNLR	SHEET NO.
DRNLR	ABDI
CHECKED BY	OF
DATE	1
CODE NO.	

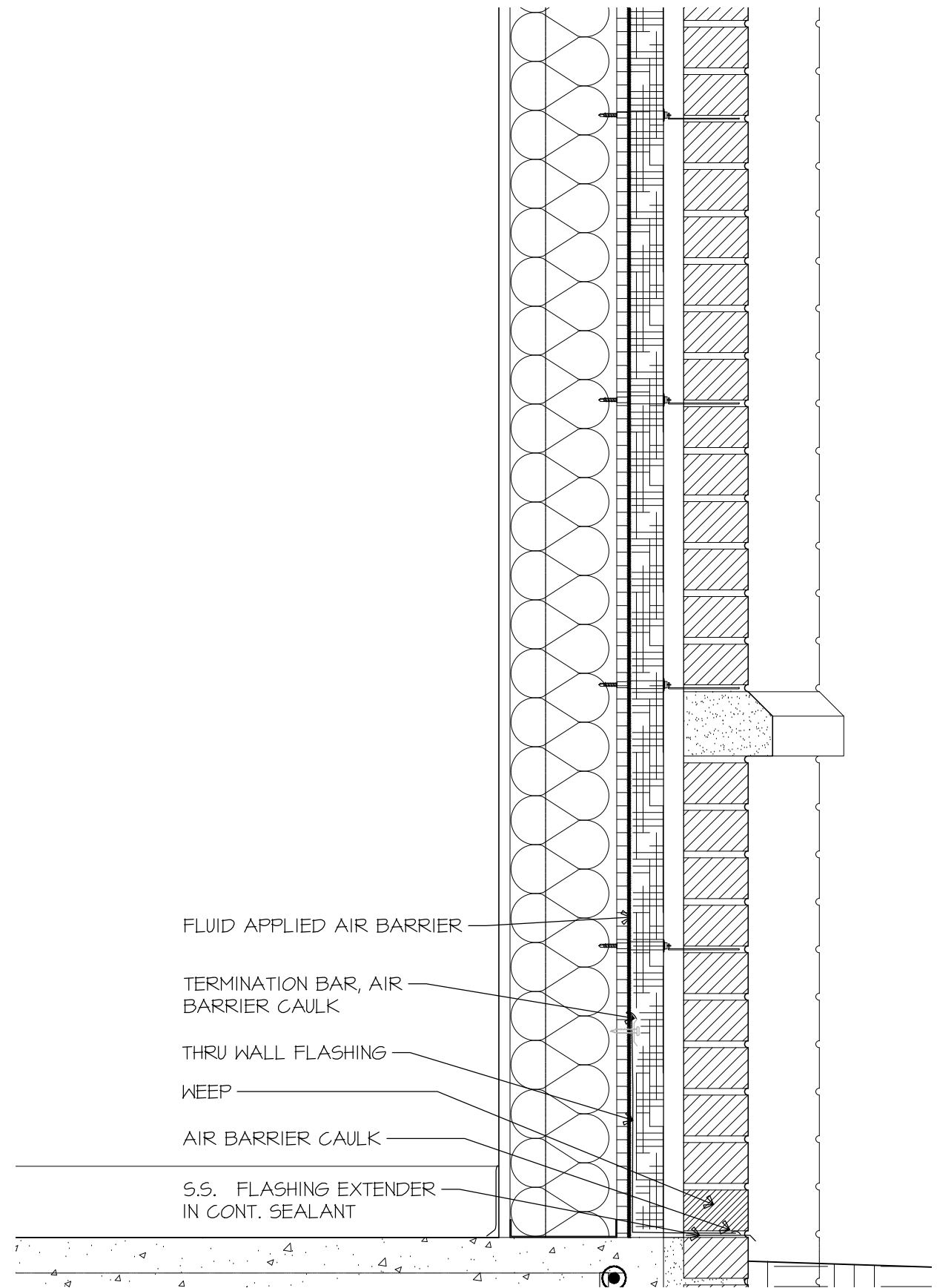


3/4" A4.2 - DETAIL INFORMATION

1 PARTIAL WALL SECTION

ABDI

SCALE: 1-1/2"=1'-0"



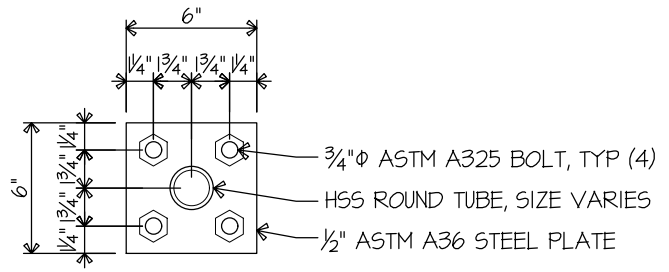
3/A4.1 - DETAIL INFORMATION

2 PARTIAL WALL SECTION

ABDI

SCALE: 1-1/2"=1'-0"

NOTE:
ALL STEEL IS HOT
DIPPED GALVANIZED,
PER ASTM A123/M

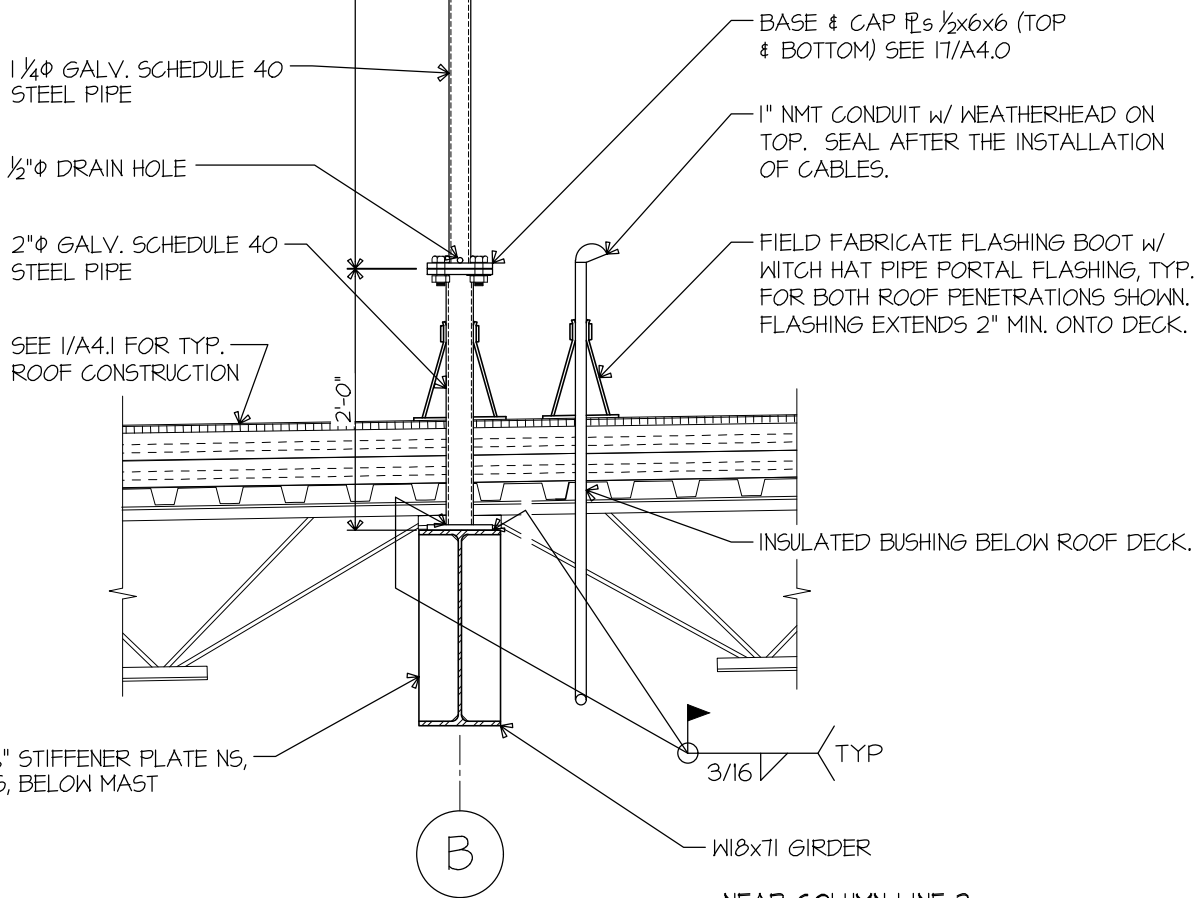


3 PLATES REQUIRED

17 PLATE DETAIL

S4.0

SCALE: 1 1/2" = 1'-0"



16 SECTION @ ROOF ANTENNA MOUNT

S4.0

NEAR COLUMN LINE 2

SCALE: 3/4" = 1'-0"

**RAMSAY
BURGIN
SMITH
ARCHITECTS**

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PUBLICATION OR REUSE OF THESE DRAWINGS
OR ANY DETAILS THEREFROM MUST BE WITH
THE WRITTEN CONSENT OF THE ARCHITECT

**Rockwell, NC
Police Department
Roof Antenna Mount**

ADDENDUM No.1
BULLETIN DRAWING

LLZ
DRAWN BY
WRB
CHECKED BY
JULY 2020
DATE
S1904
COMM. NO.

SHEET NO.

SBD

OF 1