

DATE: November 27, 2017

SUBJECT: **Addenda No. 1**
Royal Giants Park
2017 Renewal Project
East Spencer

FROM: Ramsay, Burgin, Smith Architects, Inc.
225 North Main Street, Suite 501
Salisbury, NC 28144

General: Information contained in this Addendum and changes directed in Drawings and/or Project Manual supersede said Documents and become part of the Contract. Receipt of this addendum must be acknowledged on the "Form of Proposal".

Please go online at rbsarch.com under currently bidding projects. Information contained within will be considered part of this addendum.

All Contractors, General, Plumbing, Mechanical, and Electrical contractors should review all Addenda Items for work that pertains to or affects their trade.

See Questions from bidders/Responses from Architect attached to this addendum which are considered part of this addendum.

ARCHITECTURAL SPECIFICATIONS:

ITEM #1 Reference Spec Section - 04250 - Segmental Retaining Wall –RidgeRock system – Straight Faced 79 lb. units by Johnson Concrete are acceptable as equal to the Versa-Loc specified.

ITEM # 2 Reference Spec Section – Splash Pad 11000 - Include in your Bid, Splash Pad/ Pool review/ Permit you may not be aware of: Rowan County Environmental Services Department will require an application to be filled out and fee of \$75.00 as completed Splash Pad Engineering Drawings are submitted.

ARCHITECTURAL DRAWING SHEETS:

ITEM #A1 Reference Sheet A1 Entrance Sign #9. The designation marker at the Entrance sign located at the corner of Robinson Road at the Basketball courts is upside down and should read #9 (Entrance Sign – Reference Sheet A4). The additional marker designating an entrance sign at the corner of Andrews and Shaver Street shall be by owner.

ITEM #A2 Reference Sheet A1 Detail A1-06 and reference #7 (ASPHALT) – #7 - 5'-0" wide walking trail – Reference Sheet A1. All Walking Trails shall be GRAVEL in lieu of combination of Asphalt and Gravel.

ITEM #A3 Reference Sheet A3 A3-01 Existing Pool House – Existing Concrete sidewalk under the Pool House Building Envelope that is existing and painted blue – In lieu of demolishing and replacing that portion of sidewalk area as indicated on plans, this area shall remain, pressure wash and painted to match existing blue color. Any existing cracks shall be caulked prior to painting. All other areas shown as new on Sheet A3 shall be new as indicated.

ELECTRICAL DRAWING SHEETS:

ITEM #BE-1 -Electrical Bulletin Drawings - Sheet E-1 & E-2 (see attached PDF)

Addendum #1 = 2 sheets.

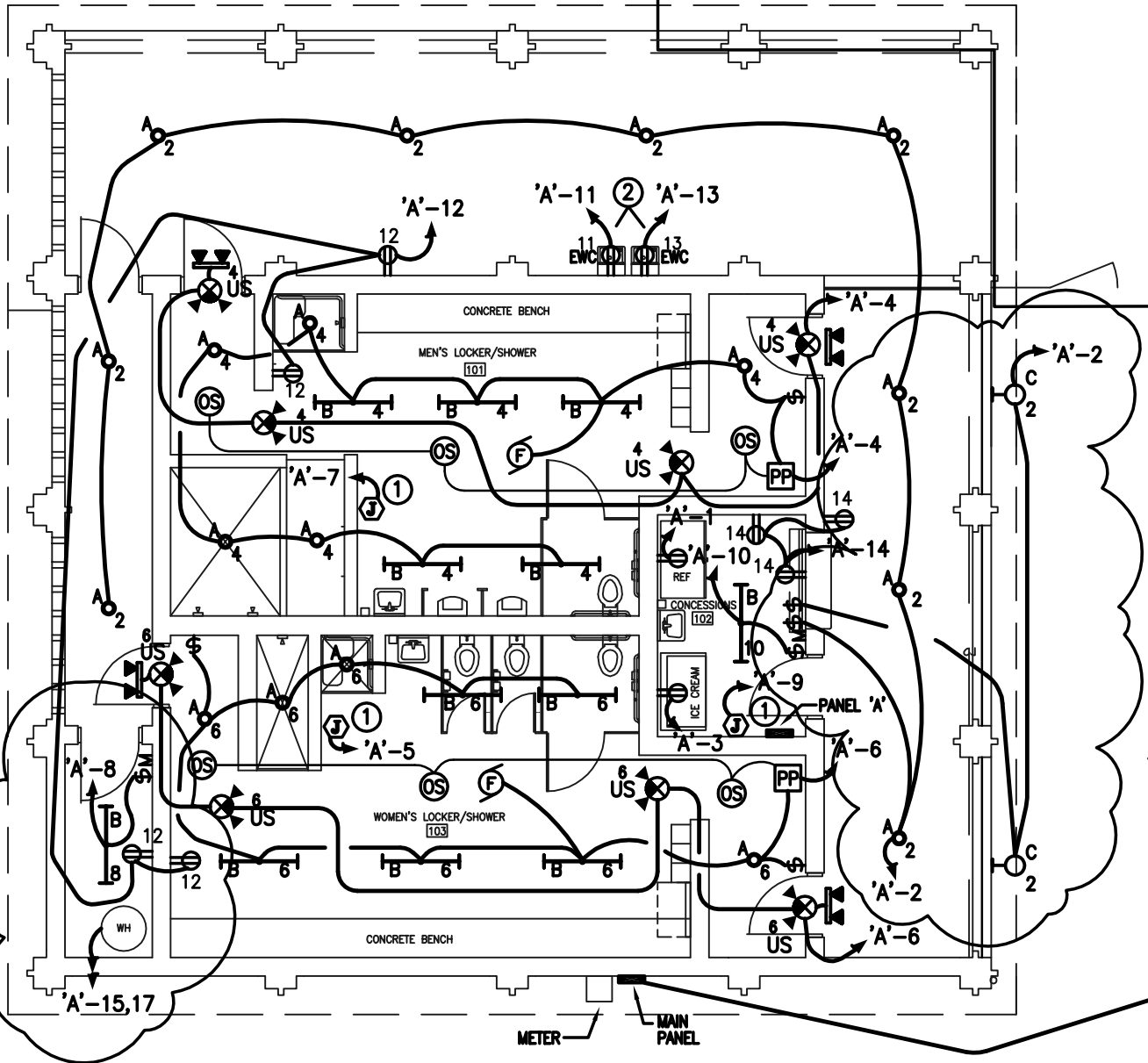
Attachments:

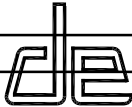
Mandatory Pre-Bid Attendee List (1 sheet)

Revised Drawing Sheet PDF's (E-1,and E-2) (2 sheets)

Architect's Answers to questions from bidders (1 sheet)

END OF ADDENDUM NO. 1




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 P.O. Box 1256
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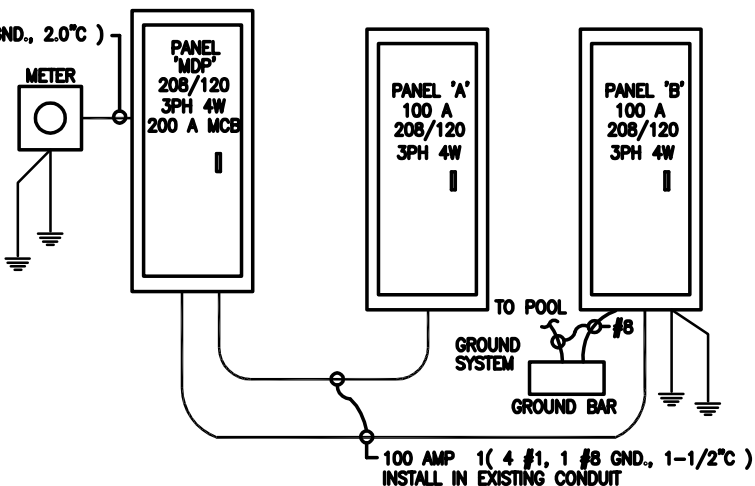
JOB NO: _____ REF DWG: E-1
ROYAL GIANTS
 SPANCER, NC
 DATE: 11-10-17 DRAWN: DSS

SHEET E-1
BE-1
 OF 2



REPLACE EXISTING PANELS WITH NEW PANEL

200 AMP 1(4 #3/0, 1 #8 GND., 2.0°C)



1
E1

ELECTRICAL RISER

SCALE: 1/8"=1'-0"

| | |
|--|---------------------------------------|
| | 2198 East Holly Grove Road |
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| | |
|----------------|--------------|
| JOB NO: | REF DWG: E-2 |
| ROYAL GIANTS | |
| SPANCER, NC | |
| DATE: 11-10-17 | DRAWN: DSS |

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|-----------|
| SHEET E-2 |
| BE-1 |
| OF 2 |

DWG NAME

Royal Giants Park Renewal Project 2017 - Questions from Bidders/ Responses
from Architect:

Is the existing ceramic wall tile to remain in the Men's/Women's Locker Room, or is it to be removed and replaced by a new application of Ceramic Tile? *No, existing tile to remain. Where modification of existing wall intercepts new, we expect a clean transition from existing to new. Caulk and grouted joints where overlaps existing.*

Are the Patio slabs and Splash Pad slabs to be constructed over compacted earth? Is there a layer of stone or other substrate material required? *Patio and Splash slabs are to be placed on 95% compacted earth as stated on A1-05.*

Are special coatings (Sport Master ColorPlus or Watco Anti Slip Sealer) to be installed on the Patio and Splash Pad slabs? *Patio slabs do not receive special coatings. The Splash Pad does have a special coating system but is part of Splash Pad complete system.*

Is the intent to replace all the plywood ceilings associated with the existing Pool House? *No, all roof structure including plywood ceilings including demolition and replacement of structure are by owner.*

There does not appear to be access to the chase wall in the Pool House common wall between Men's/Women's Locker Rooms. The new fixtures will require supply and waste lines. I do see notes "Prep/Repair Wall for New Plumbing Typical". Can you elaborate on what is desired? *The existing interior chase walls are masonry, we understand gaining access into the chase is part of the work. It will be at the discretion of the G.C. to determine the extent of select demolition to gain access. The water supply must be drain down type system for seasonal use. If that can be achieved unexposed piping for example above the ceiling and drops to the fixtures we will entertain alternate solutions to achieve the goal as well. The shower head assemblies are surface mounted with shroud above covering the exposed supply piping. In any case we will expect the masonry to be replaced back and infilled as necessary.*

Under Plumbing Specialties Schedule on P1, how "ducted" venting for the electric water heater? *The water heater is hybrid tank type and heat pump. The heat pump requires venting of the excess heat. This can be achieved by ceiling exhaust louver vent system in addition to the louver in the door. The ambient air temperature must also be considered when installing this unit. In efficiency mode the air temperature needs to be above 45°F/7°C and below 120°F/48°C for heat pump operation.*

Where is the existing water service for the Pool House? *P1-01 – the Elevation marker located in the same room as the Water Heater Indicates where the existing water service is located. The cutoff and piping above the floor has been removed. You will need to intercept and extend that service from the existing line.*

Is (FD) existing and shown below (WH) on p1-01? *The floor drain is located at water heater. (not shown on plans)*

Pipe Insulation noted under Plumbing Specification "4a" – *Use 1" Continuous Jacketed heavy density fiberglass water pipe insulation.*

Are water supply lines noted on P1-01 existing and do the new fixtures just connect to the existing? *No, the water supply lines are all new.*