

April 3, 2018

SUBJECT: Addendum Number 2
Davidson County Government Center
913 Greensboro Street. Lexington, NC

FROM: Ramsay Burgin Smith Architects, Inc.
225 North Main Street - Suite 501
Salisbury, NC 28144

Information contained in this Addendum and changes in Drawings and/or Specifications supersede said documents and become part of the Contract. Contractors are reminded to acknowledge receipt of this addendum on the bid Form of Proposal.

Bids shall be received by 3:00 pm Thursday, April 5, 2018 in the Davidson County Purchasing Department in the Support Services Office, 925 North Main Street, Lexington, North Carolina 27292.

Bids will be publically opened as an "Informal" Bid Opening Process.

GENERAL:

Item 1 - Attached is the list of attendees at the Pre-Bid Conference held on March 7, 2018. This is for information only.

Item 2 - Revised Form of Proposal (attached) includes new Alternate #1 per Item 3 below.

ARCHITECTURAL:

Item 3 - As an Alternate #1, in lieu of repairing the existing hardboard coated surface (base bid work), install 1" standard EIFS over the existing cement board system. EIFS spec division is in the original specifications. Under this alternate, no repair is required for the existing hardboard coated surface. Caulk as shown on attached details. Color to match existing color of penthouse. See attached bulletin drawings ABD2.1, ABD2.2.

Item 4 - Existing six tall windows on elevation 1/A1.1:

1. Contractor shall be aware that the tall window units on this elevation have had a history of leaking at the second floor level. In addition to the required re-caulking work, the contractor shall verify/repair that the storefront window system's weep system is 'open' and working. If any work to correct this is elected, beyond removing caulk, it shall be handled as an extra to the contract.

ATTACHMENTS:

Pre-Bid Attendance Sheet
Revised Form of Proposal
Bulletin Drawings ABD2.1, ABD2.2
(Attachments + Addendum = 8 pages)

END OF ADDENDUM NUMBER 2

DAVIDSON COUNTY GOVERNMENT CENTER
2018 MAINTANENCE REPAIRS
PRE-BID CONFERENCE

March 7, 2018 @ 3:00 PM

Name	Company Name	Trade	Telephone	Email
Randy Gobble	CSW, Inc.	EIFS	336-242-1300	rgobble@cswinc.com
Marty Burkhart	CSW, Inc.	EIFS		mburkhart@cswinc.com
Bill Welly	HRW Inc	Waterproofing	336-596-2141	bwetty@highrockwaterproofing.gov
Charlie Brushwood	Davidson County		336-240-0303	charlie.brushwood@dauidsoncountync.gov
Dwayne Childress	DC Support Svs.			
Bill Burgin	Ramsay Burgin Smith (RBSA)	Architect	704-633-3121	bill@rbsarch.com
Perry Carlton				perry@rbsarch.com
Ansul Broom	Southern Restoration Maintenance, Inc.	General Contractor	704-334-7663	

CONTRACTOR NAME: _____

REVISED FORM OF PROPOSAL

Davidson County Government Center – 2018 Maintenance Repairs

Lexington, North Carolina

General Contract

Submitted herewith is my/our proposal for the Construction of the 2018 MAINTENANCE REPAIRS FOR THE DAVIDSON COUNTY GOVERNMENT CENTER, LEXINGTON, NC.

SECTION 1. PRELIMINARY:

The undersigned, as bidder, hereby declares that the only person(s) interested in this proposal as principal(s) is/are named herein; that no other person than herein mentioned has any interest in this proposal or in the contract to be entered into; that this proposal is made without connection with any other person, company or parties making a bid or proposal; and that it is in all respects fair and in good faith without collusion or fraud.

The undersigned bidder further declares that he has examined the site of the work and all existing conditions and informed himself fully in regard to all conditions pertaining to the place where the work is to be done; that he has examined the specifications for the work and the contract documents relative thereto, and has read all special provisions furnished prior to the opening of bids; and that he has satisfied himself relative to the work to be performed.

The form of the contract to be entered into shall be the “Standard Form of Agreement Between Owner and Contractor, where the basis of payment is a stipulated sum as contained in the 2007 edition of standard document A101 as published by the American Institute of Architects.

If this proposal is accepted, the undersigned bidder proposes and agrees to contract with the Davidson County Board of Commissioners in the form of contract specified, to furnish all necessary materials, equipment, machinery, tools, apparatus, means of transportation and labor necessary to complete the construction in full and complete accord with the plans, specifications and contract documents and to the full and complete satisfaction of the Architect and Owner with a definite understanding that no money will be allowed for extra work except as set forth in the General Conditions and contract documents for the sum of:

BASE BID: _____ **DOLLARS (\$ _____)**
(Including all Allowances)

SECTION 2. SUBCONTRACTOR and COST IDENTIFICATION:

This sheet shall be filled out and furnished by the General Contractor as part of the Proposal Form. Only the Subcontractor's Name Columns must be filled out for the bid opening (Not bid Value). If requested by the Architect, Low bidder(s) shall fill out the Schedule of Bid Subcontractor's and Bid Values column to be submitted to the Owner by 10:00 AM on the morning after the bid opening.

SUPPLEMENTAL SUB-CONTRACTOR AND BID BREAKOUT TABULATION SHEET

The base bid is based on the following breakout of sub-contractors for each noted work scope:

	<u>Sub-Contractor Name</u>	<u>Schedule of Bid Value</u>
Masonry & Brick Cleaners	_____	\$ _____
Caulking Subcontractor	_____	\$ _____
Glass Cleaner Subcontractor	_____	\$ _____
EIFS Subcontractor	_____	\$ _____
Plumbing Subcontractor	NONE REQUIRED	\$ _____
Mechanical Subcontractor	NONE REQUIRED	\$ _____
Electrical Subcontractor	NONE REQUIRED	\$ _____

SECTION 3. ALTERNATES:

Each alternate price listing in this proposal shall cover all costs required for this particular part of the work, complete and in place, including all changes, alterations or modifications to surrounding work required to accommodate the substitution, addition, deletion or other change.

The Architect reserves the right to recommend to the Owner the acceptance or rejection of any or all alternates. The Owner reserves the right to accept or reject any or all such recommendations. The Owner further reserves the right to accept or reject alternates in any order they preferred without regard to whether or not their selected order effects bid outcome.

Should any of the alternates as described in the specifications be accepted, the amount written below shall be the amount to "add to" or "deduct from" the Base Bid. Signify the option intended by the words "add" or "deduct" in front of the written figures and the like "plus" or "minus" signs in front of the numerals. See section 01030 for full description of alternates.

ALTERNATE #1 Provide 1” thick EIFS layer over existing texture coated hardboard surfacing throughout building exterior.

State amount to be added or deducted to provide a 1” thick layer of insulation and EIFS finisher in lieu of repairing the existing hardboard coated surface as indicated in Addenda #1. See Spec Section 07241A and Alternate #1 description issued in Addendum #2.

(ADD/DEDUCT) _____ DOLLARS (\$ _____)

SECTION 4. UNIT PRICES:

UNIT PRICE #1: Cost of Brick Mortar Repointing. per linear ft. :

_____ DOLLARS (\$ _____ /lin.ft.)

NOTE: Unit Price costs indicated above will be used to determine the exact Allowance dollar amount figure used by the contractor in their Base Bid. See Division 1 – Allowances Section 01020 for quantities required to be included in Base Bid.

SECTION 5. COMPLETION OF WORK:

If the undersigned bidder is notified of the acceptance of this proposal, he agrees to execute a contract for the above stated compensation in the form of the Standard Agreement of the American Institute of Architects and to commence work within ten (10) days after signing of the contract or Issuance of a Notice to Proceed. The undersigned bidder proposes to complete the construction and have the work ready for Final Inspection on or before the schedule listed below from date of "Notice to Proceed" or be subject to liquidated damages specified in Section 01010. **(94 Calendar Days)**

The undersigned further agrees that in the case of failure on his part to execute the said contract and required bonding within ten (10) consecutive calendar days after written notice of award of the contract has been given, the check, cash, or bid bond accompanying this bid shall be paid into the funds of the Owner's account set aside for this project as liquidated damages for such failure, otherwise if proposal is not accepted the check, cash, or bid bond accompanying this proposal shall be returned to the undersigned.

Attach certified check, cash, or bid bond to this proposal.

SECTION 6. ADDENDA:

The undersigned bidder acknowledges receipt of the following bulletins:

Addenda No. _____ Dated _____

Addenda No. _____ Dated _____

Addenda No. _____ Dated _____

Respectfully submitted this _____ day of _____ 20__

(Name of firm or corporation making bid)

WITNESS:

By: _____

Title: _____

(Proprietorship or Partnership)

(Owner, Partner, Corp, Pres. or Vice Pres. Only)

Address: _____

SEAL

(N.C. Contractor's License)

EXISTING SHEATHING

EXISTING ACRYLIC STUCCO ON
CEMENT BOARD

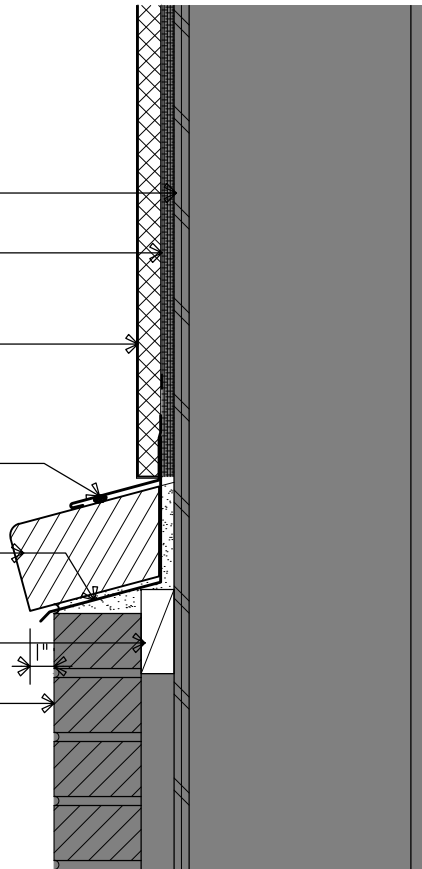
NEW 1" STANDARD EIFS - COLOR TO
MATCH EXISTING COLOR OF
PENTHOUSE

CONTINUOUS CAP FLASHING OVER
CONTINUOUS BED OF CAULK

NEW SINGLE BULLNOSE BRICK SILL
AND THROUGH WALL FLASHING.

NEW P.T. BLOCKING AS NEEDED

EXISTING BRICK VENEER



*MATCH EXISTING BRICK COLOR AND TEXTURE
MATCH EXISTING BRICK MORTAR COLOR

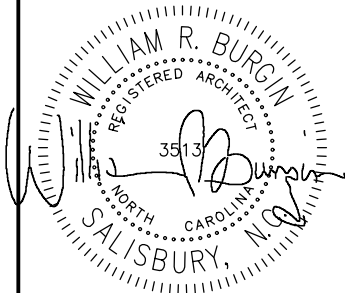
ALTERNATE BID:
TYPICAL BUILDING PERIMETER

BRICK LEDGE DETAIL

4

A2.1

SCALE: 1 1/2" = 1'-0"



RAMSAY
BURGIN
SMITH
ARCHITECTS

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SALISBURY, NORTH CAROLINA 28144
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Email: rbsa@rbsarch.com (www.rbsarch.com)

PUBLICATION OR REUSE OF THESE DRAWINGS
OR ANY DETAILS THEREFROM MUST BE WITH
THE WRITTEN CONSENT OF THE ARCHITECT

**DAVIDSON COUNTY
GOVERNMENT
CENTER**

916 GREENSBORO STREET
LEXINGTON, NC
ADDENDUM No.2
BULLETIN DRAWING

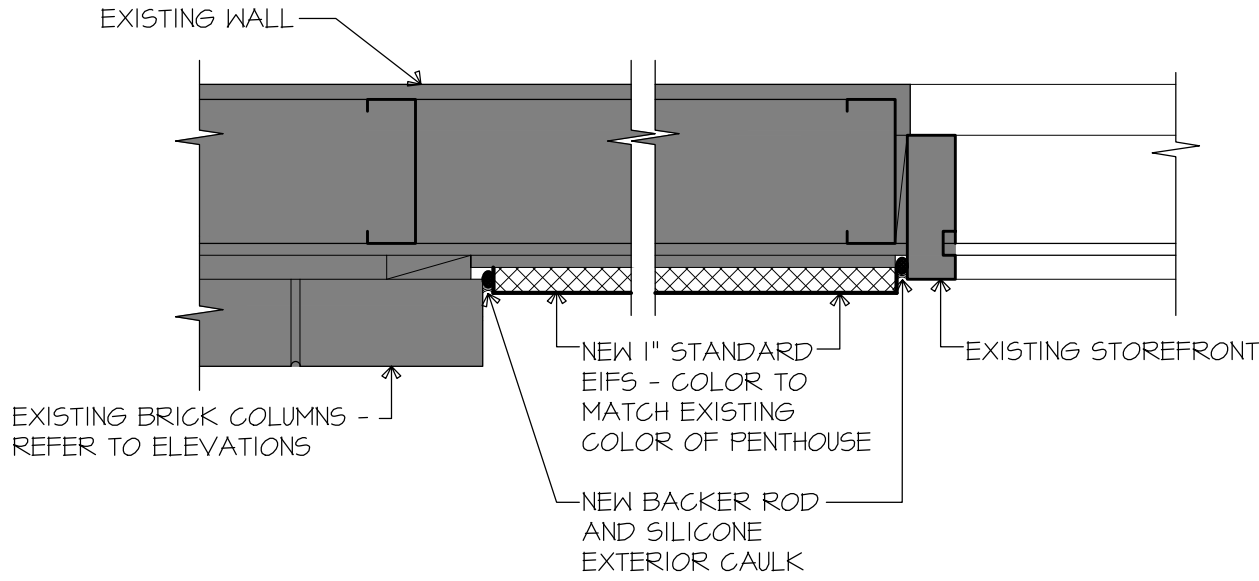
PLC _____
DRAWN BY
WRB _____
CHECKED BY
04.03.18 _____
DATE

COMM. NO.

SHEET NO.

ABD2.1

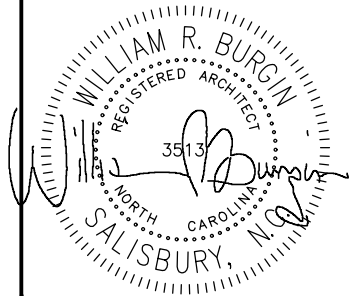
OF 2



ALTERNATE BID:
TYPICAL BUILDING PERIMETER
PLAN SECTION

5
A2.1

SCALE: 3" = 1'-0"



**RAMSAY
BURGIN
SMITH
ARCHITECTS**

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916 GREENSBORO STREET
LEXINGTON, NC
ADDENDUM No.2
BULLETIN DRAWING

PLC _____
DRAWN BY
WRB _____
CHECKED BY
04.03.18 _____
DATE

COMM. NO.

SHEET NO.
ABD2.2
OF 2